

# 2024/0978/P - Flat B, 7 Hollycroft Avenue, NW3 7QG



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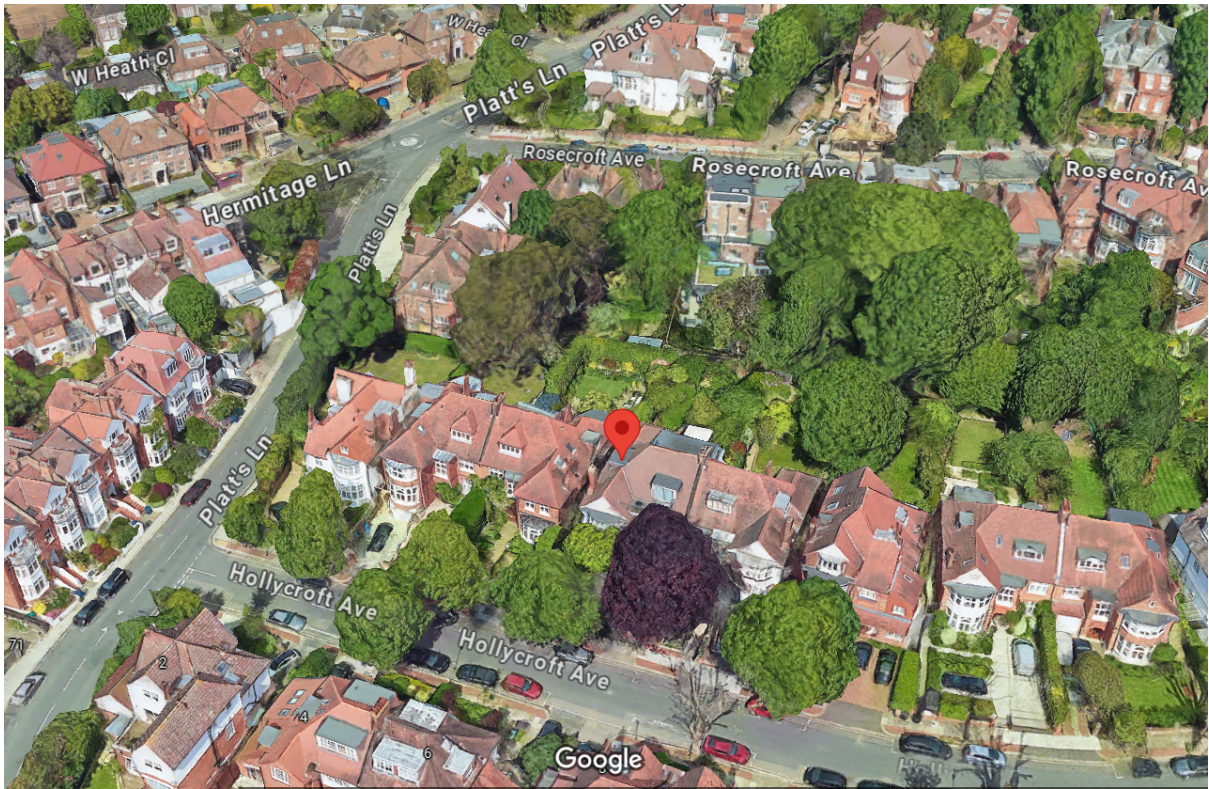


Image 1 (above): Aerial view looking towards front of property (source: Google)



Image 2 (above): Aerial view looking towards rear of property (source: Google)





Image 3 (above): Aerial view looking towards front of property (source: photo supporting application)



Image 4 (above): Aerial view looking towards front of property (source: photo supporting application)

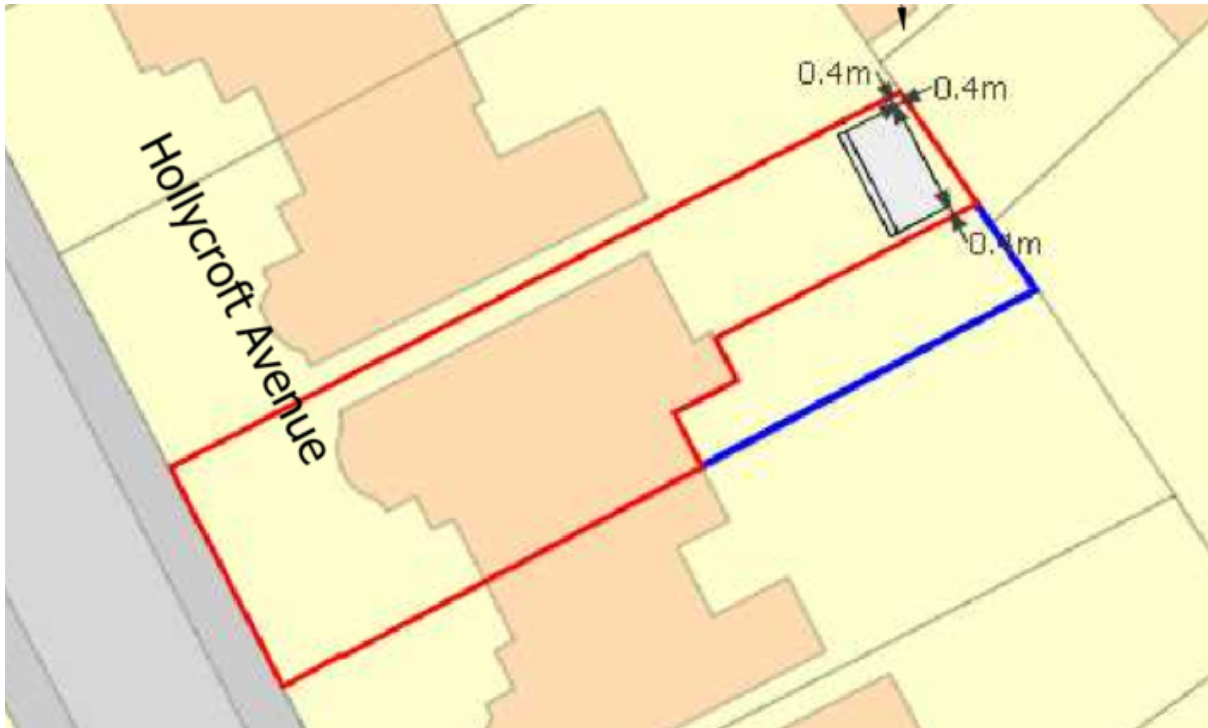


Image 5 (above): Site Plan showing Proposed Outbuilding on site (source: application drawings)

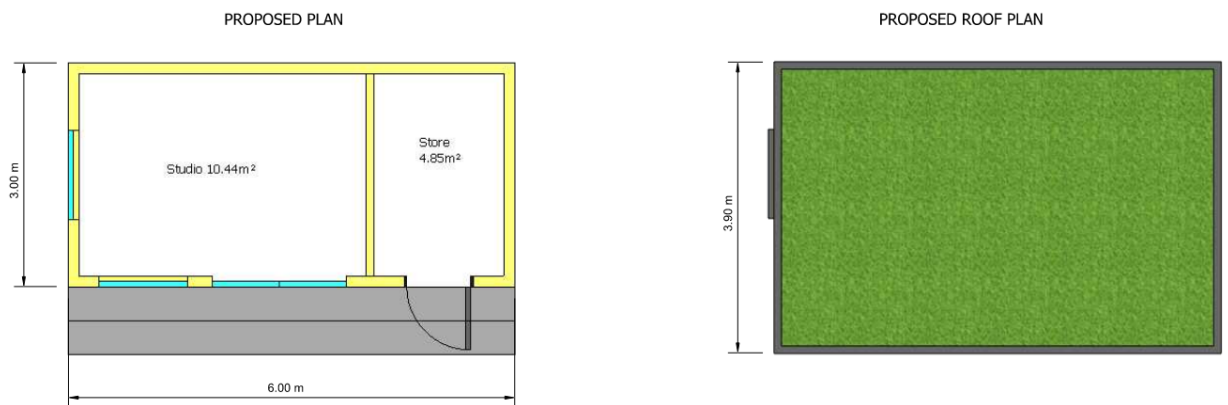


Image 6 (above): Ground Floor and Roof Plan of Proposed Outbuilding (source: application drawings)





Image 7: (above) Elevations of Proposed Outbuilding (source: application drawings)



<b>Delegated Report</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>		<b>05/07/2024</b>	
<b>(Members Briefing)</b>		N/A / attached		<b>Consultation Expiry Date:</b>		<b>10/06/2024</b>	
<b>Officer</b>				<b>Application Number(s)</b>			
Miriam Baptist				2024/0978/P			
<b>Application Address</b>				<b>Drawing Numbers</b>			
Flat B 7 Hollycroft Avenue London NW3 7QG				See Decision Notice			
<b>PO 3/4</b>		<b>Area Team Signature</b>		<b>C&amp;UD</b>		<b>Authorised Officer Signature</b>	
<b>Proposal(s)</b>							
Erection of a single-storey outbuilding in rear garden.							
<b>Recommendation(s):</b>		Grant subject to conditions					
<b>Application Type:</b>		Full Planning Permission					



Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
<b>Consultations</b>						
Adjoining Occupiers:	No. notified	00	No. of responses	02	No. of objections	00
			No. Electronic	00		
Summary of consultation responses:	<p>Two consultation responses have been received raising the following points:</p> <ul style="list-style-type: none"> <li>This development will have an adverse effect on surrounding gardens and the mental well-being of residents living nearby. Noise, light pollution and everything connected with offices impact considerably on how people are able to use their gardens, both causing disturbance in the day and out of hours.</li> <li>It most certainly disturbs all the wildlife by way of noise and lighting.</li> <li>The damage caused by disturbing the natural drainage on the trees is immense.</li> </ul> <p><i>Officer's response:</i></p> <ul style="list-style-type: none"> <li><i>The outbuilding would be used as ancillary to the main property. A condition has been added to ensure it is not used as a self-contained dwellinghouse and cause amenity harm in that manner.</i></li> <li><i>The lighting should be proportion to the outbuilding and should not be left on when the outbuilding is not in use.</i></li> <li><i>The outbuilding has been revised to have a green roof which should offset some of its impact in regard to drainage on site. A condition has been attached to ensure the quality of the green roof.</i></li> </ul>					
CAAC/Local groups* comments: *Please Specify	<p>Redington Frogna! Neighbourhood Forum <b>object</b> on the following grounds:</p> <p>The Redington Frogna! Neighbourhood Plan was developed to conserve gardens and protect them from unsustainable development. Specific policies with which the proposal conflicts are:</p> <p>SD 1:</p> <p>i. Development must have no adverse impact on biodiversity and wildlife habitat, including through loss of garden space.</p> <p>ii. If there is likely to be an adverse impact, this must be offset by gains elsewhere within the site, such as tree and hedge planting.</p> <p>iii. The achievement of a net gain in biodiversity is strongly encouraged</p> <p>iv. The creation of garden development and building extensions must be in accordance Policies SD 2 to SD 5, and maximise the area of soft, natural landscaping, to act as a carbon sink and help mitigate against climate change and the urban heat island effect</p> <p>SD 4:</p> <p>i. The area of soft natural garden space within the site should be maintained or increased.</p> <p>vi. Development that incorporates eaves and spaces for internal bat roosts, and the use of bird bricks and other features to support wildlife, will be particularly welcomed.</p>					



SD 5:  
iii Extension into garden space, including outbuildings, must involve no significant reduction in the overall area of natural soft surface and have no significant adverse impact on the amenity, biodiversity and ecological value within the site.

The policies relating to Biodiversity and Green Infrastructure are also relevant:

BGI 1:  
Open/unbuilt areas within development sites must be designed to enhance their ecological, wildlife and residential amenity values. This includes:

i. retaining, providing and reinstating trees, hedgerows and other planting using native species, especially those of high value to biodiversity, as set out in the 6.2 Planting Guidance to Enhance Biodiversity and Conservation Area Character. A very high urban greening score is encouraged;

ii. maximising the area of soft landscaping and using planting with high value to pollinators and insects, as set out in the 6.2 Planting Guidance to Enhance Biodiversity and Conservation Area Character;

Under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, as Amended, it is important to understand the central contribution of the amalgam of rear gardens and trees to the Conservation Area character. The use of gardens for office building is clearly not compatible with the garden suburb landscape character of the Redington Frogmal Conservation Area.

*Officer's response: The applicant has revised the design to include a green roof in light of the Neighbourhood Plan policies to maintain the area of soft natural space on the site, thereby mitigating the impact of the proposal. Details of the green roof will be reviewed and approved by the Council before commencement on site.*

### Site Description

The application site is on the eastern side of Hollycroft Avenue, south of the junction with Platt's Lane, in a predominantly residential area. The site is located in the Redington/Frogmal Conservation Area.

The building on the site is a semi-detached 2-storey property; paired with 9 Hollycroft Avenue. The property is divided into flats.

### Relevant History

#### Nearby Properties:

#### 7 Rosecroft Avenue

**2019/1113/P** - Replacement of existing garden outbuilding with new pavilion for office, garden room and storage. – Granted 28/11/2019

**2020/4838/P** - Erection of garden outbuilding (including excavation) to provide pavilion for recreation, home office and storage, following demolition of existing outbuilding. – Granted 26/01/2022

## 22 Rosecroft Avenue

**2020/4714/P** – *Erection of single storey outbuilding in the rear garden with green roof and solar panels, associated to external pool.* – Granted 10/05/2021

## 43 Ferncroft Avenue (Ground And First Floor Flat)

**2020/2994/P** - *Erection of a single storey outbuilding in rear garden.* – Granted 27/10/2020

## 7 Platt's Lane (Flat 1)

**2019/3394/P** - *Erection of a rear outbuilding.* – Granted 24/09/2022

## **Relevant policies**

### **National Planning Policy Framework (2023)**

### **The London Plan (2021)**

### **Camden Local Plan (2017)**

- A1 Managing the impact of development
- A2 Open Space
- A3 Biodiversity
- CC1 Climate change mitigation
- CC3 Water and flooding
- D1 Design
- D2 Heritage

### **Redington Froggnal Neighbourhood Plan (2021)**

- SD1 Refurbishment of existing building stock
- SD2 Redington Froggnal Conservation Area
- SD4 Redington Froggnal Character
- SD5 Dwellings: Extensions and Garden Development

### **Camden Planning Guidance (2021)**

- CPG Amenity
- CPG Design

### **Redington / Froggnal Conservation Area Character Appraisal & Management Plan (2022)**

### **Draft Camden Local Plan**

The Council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications which has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

## **Assessment**

### **1.0 Proposal**

1.1 The application seeks permission to erect a single-storey outbuilding in the rear garden.

1.2 Key planning issues are as follows:

- Design & Heritage
- Neighbouring Amenity



1.3 The design has been revised to incorporate a green roof.

## 2.0 Design & Heritage

- 2.0.1 Local Plan policy D1 seeks to achieve high quality design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area. Policy D2 seeks to preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings.
- 2.0.2 The Redington Froggnal Neighbourhood Plan's (RFNP) Policy SD1 states that '*Development should avoid adverse impacts on biodiversity and wildlife habitat, including through loss of garden space.*' And that '*the creation of garden development and building extensions should be in accordance Policies SD 2 to SD 5, and maximise the area of soft, natural landscaping, to act as a carbon sink and help mitigate climate change and the urban heat island effect.*'
- 2.0.3 RFNP Policy SD2 states that '*New developments must preserve or enhance the green garden suburb character and appearance of the Conservation Area. This includes retention of buildings or features that contribute to that special interest, including gaps between buildings, trees, hedges and the open garden suburb character created by well-vegetated front, side and rear gardens.*'
- 2.0.4 Similarly, RFNP Policy SD4 makes clear that development/redevelopment '*should complement the distinctive character of the Redington Froggnal area and the immediate site context*' and that '*The area of soft natural garden space within the site should be maintained or increased.*' It also states that '*landscaping should be an integral part of the design and layout of development and should include trees and other planting using species with a high value to biodiversity...*'
- 2.0.5 Policy SD5 says '*extension into garden space, including outbuildings, should involve no significant reduction in the overall area of natural soft surface and have no significant adverse impact on the amenity, biodiversity and ecological value within the site.*'
- 2.0.6 The Redington Froggnal Conservation Area Character Appraisal & Management Plan highlights the '*verdant characteristics of the area*' and states that: '*Loss of rear garden space and the open character of rear gardens through rear extensions, swimming pools, lightwells, large outbuildings and excessive hard surfaced areas. The result has involved loss of trees visible through building gaps.*'
- 2.0.7 The Home Improvements CPG also states that '*materials are integral to the architectural design, appearance and character of a building. The choice and use of materials and finishes therefore plays a crucial role in any alteration and extension given their impact on the appearance and character of a home (and Conservation Area if applicable).*' In order to be acceptable materials should be contextual (in terms of the existing property and the wider built environment).
- 2.0.8 The outbuilding would be finished in cedar on two elevations which is considered appropriate to a garden setting and within the Conservation Area. The outbuilding would have a glazed door and window facing towards the main house on the front (south-west facade) and a high-level window on the side elevation (north-west). The remaining elevations without windows would be finished in cement particle board with aluminium trim and green roof above. There would be LED spotlights to the ceiling and exterior overhead canopy. The outbuilding would be approximately 15sqm in area. A reasonable area of garden space would be retained for amenity of current and future occupiers. The addition of a green roof is considered to complement the verdant characteristics of the area and offset the reduction of garden space, responding to Neighbourhood Plan policies. The height has increased to 2.75m, due to the addition of a green roof but the structure would be set back from neighbouring boundaries by 400mm on each side and the green roof would improve its impact on outlook from

neighbouring properties. The green roof is also considered to be in accordance with policies CC1 (Climate change mitigation) and CC3 (Water and flooding) of the Local Plan.

2.0.9 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

2.0.10 The detailed design proposed is considered acceptable and suitable for a garden outbuilding. Overall, the proposal is not considered harmful to the character or appearance of the host building, street of which it is part or the wider Redington Froggnal Conservation Area, in accordance with the requirements of policies CC1, CC3, D1 and D2 of the London Borough of Camden Local Plan 2017 and policies SD1, SD2, SD4 and SD5 of the Redington Froggnal Neighbourhood Plan 2022.

## **2.1 Neighbouring Amenity**

2.1.1 Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting planning permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, and implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development.

2.1.2 The proposed outbuilding is not considered likely to cause material harm to neighbouring amenity. The outbuilding is not considered to be excessively glazed but would have a window and pair of glazed doors which would face towards the host building, approximately 11m away. The outbuilding would be a similar distance away from the rear facades of the neighbouring properties but is not considered to have a material amenity impact, being single-storey and in light of the existing garden boundaries. The high-level window on the side (north-west) elevation is designed to bring in light rather than create an outlook toward the neighbouring garden and is above eye level. For these reasons, the window to the side elevation is not considered to present any issues of overlooking.

2.1.3 Overall, no significant negative impact on neighbouring amenity is expected from the proposed works in terms of loss of daylight, sunlight, privacy or outlook. The scheme is thus considered to be in accordance with Local Plan policy A1.

## **2.2 Trees**

2.2.1 Arboricultural documentation has been submitted in relation to the existing trees nearby and is found to be acceptable to the Council's Tree Officers. No trees are proposed for removal in order to facilitate development. The impact of the scheme on trees to be retained immediately off-site will be of an acceptable level due to a difference in ground levels between sites and the use of small diameter helical piles. The tree protection plan is considered sufficient to demonstrate that the trees to be retained will be adequately protected throughout development.

2.2.2 A condition has been attached to the permission, if granted, to ensure tree protection measures are installed and adopted as specified in the documentation provided.

2.2.3 For this reason, the works are considered to be in accordance with policies A2 and A3 of the Camden Local Plan.

## **3.0 Recommendation**

3.1 Grant conditional planning permission.

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 1<sup>st</sup> July 2024, nominated members will advise whether they consider this application should be [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2024/0978/P  
Contact: Miriam Baptist  
Tel: 020 7974 8147  
Email: [Miriam.Baptist@camden.gov.uk](mailto:Miriam.Baptist@camden.gov.uk)  
Date: 25 June 2024

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

eDEN Garden Rooms  
347 St Marys Lane  
Upminster  
RM14 3HP

# DRAFT

Dear Sir/Madam

**DECISION**

Town and Country Planning Act 1990 (as amended)

## **Full Planning Permission Granted**

Address:

**Flat B**  
**7 Hollycroft Avenue**  
**London**  
**NW3 7QG**

# DECISION

Proposal:

Erection of a single-storey outbuilding in rear garden.

Drawing Nos: DWG 01 Location Plan, DWG 02 V2 Proposed Block Plan, DWG 03 Existing Block Plan, DWG 04 V2 Proposed Floor and Roof Plan, DWG 05 V2 Proposed Elevations, Design and Access Statement 'Proposed GARDEN Office Outbuilding for 7b Hollycroft Avenue, London, NW37QG', Tree Protection Plan by GHA Trees dated May 2024, BS5837:2012 TREE SURVEY AND ARBORICULTURAL IMPACT ASSESSMENT dated: 18th April 2024 ref GHA/DS/133460:24, AIA Plan dated April 2024.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

DWG 01 Location Plan, DWG 02 V2 Proposed Block Plan, DWG 03 Existing Block Plan, DWG 04 V2 Proposed Floor and Roof Plan, DWG 05 V2 Proposed Elevations, Design and Access Statement 'Proposed GARDEN Office Outbuilding for 7b Hollycroft Avenue, London, NW37QG', Tree Protection Plan by GHA Trees dated May 2024, BS5837:2012 TREE SURVEY AND ARBORICULTURAL IMPACT ASSESSMENT dated: 18th April 2024 ref GHA/DS/133460:24, AIA Plan dated April 2024.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to the commencement of works on site, tree protection measures shall be installed and working practices adopted in accordance with the document entitled BS5837:2012 TREE SURVEY AND ARBORICULTURAL IMPACT ASSESSMENT ref. GHA/DS/133460:24 dated 18th April 2024 and tree protection plan dated May 2024 by GHA Trees. All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with BS5837:2012 and with the approved protection details. The development shall be monitored by the project arboriculturalist in accordance with the approved report.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the Camden Local Plan.

- 5 The garden studio shall only be used as an ancillary use to the main property at Flat B, 7 Hollycroft Avenue.

Reason: In order to ensure that the development is not used as a separate unit of living accommodation, complying with policies A1 and H6 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer