

# 2024/0306/P

## 23 Boscastle Road



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Photos for 2024/0306/P – 23 Boscastle Road

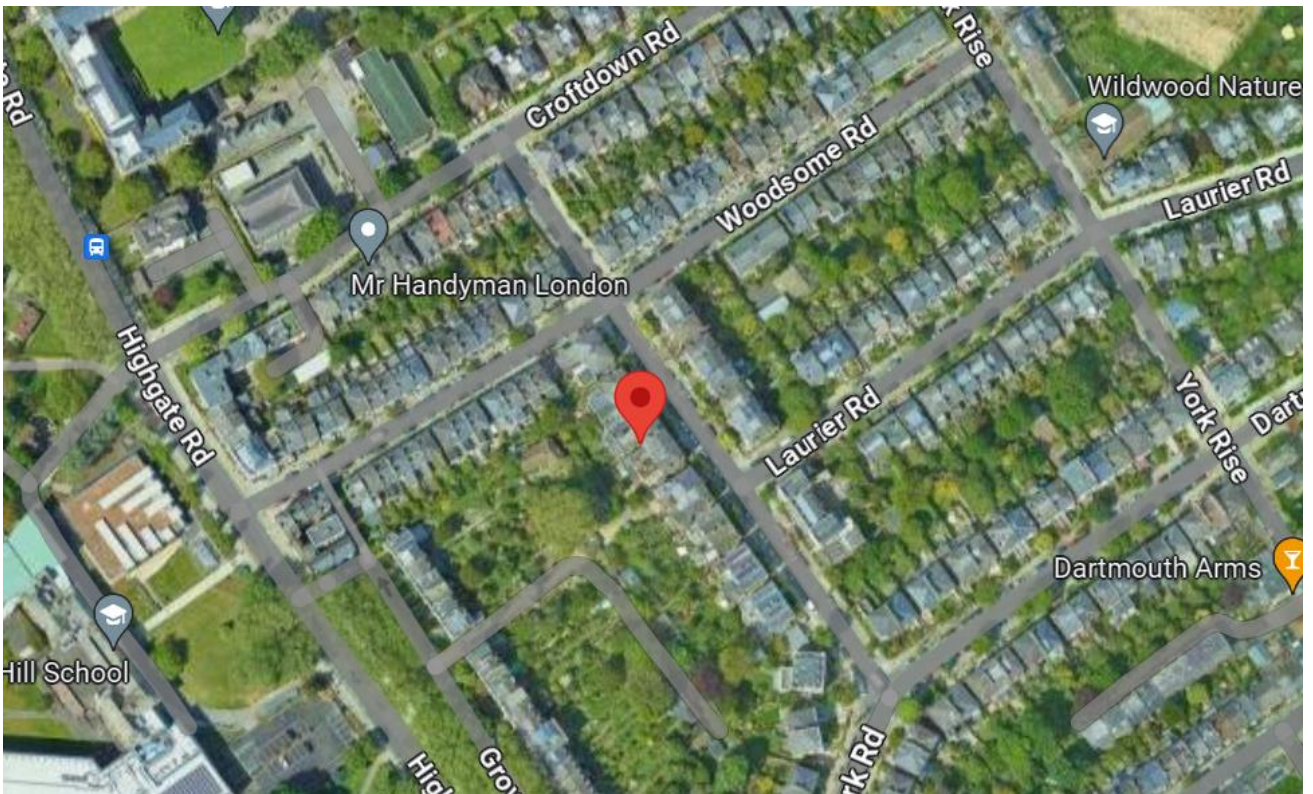
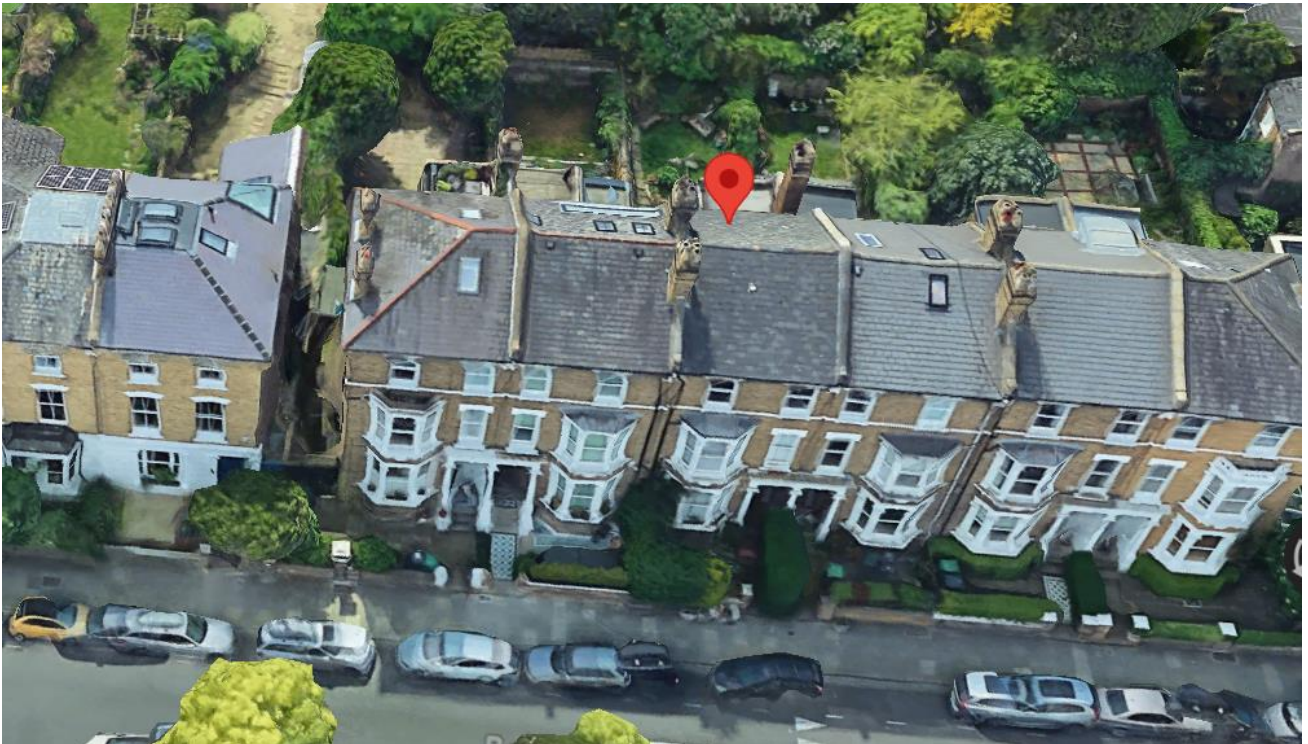


Photo 1 (above): Aerial view (source: Google 3D)





*Photo 2 (above): Aerial perspective view - rear (source: Google 3D)*



*Photo 3 (above): Aerial perspective view - front (source: Google 3D)*



*Photo 4 (above): Rear elevation*

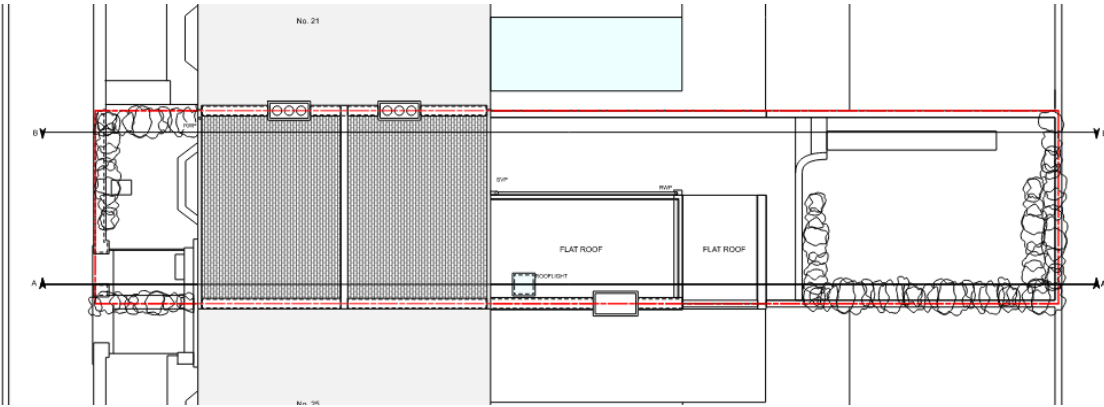


Photo 5 (above): Existing roof plan (source: Existing drawings)

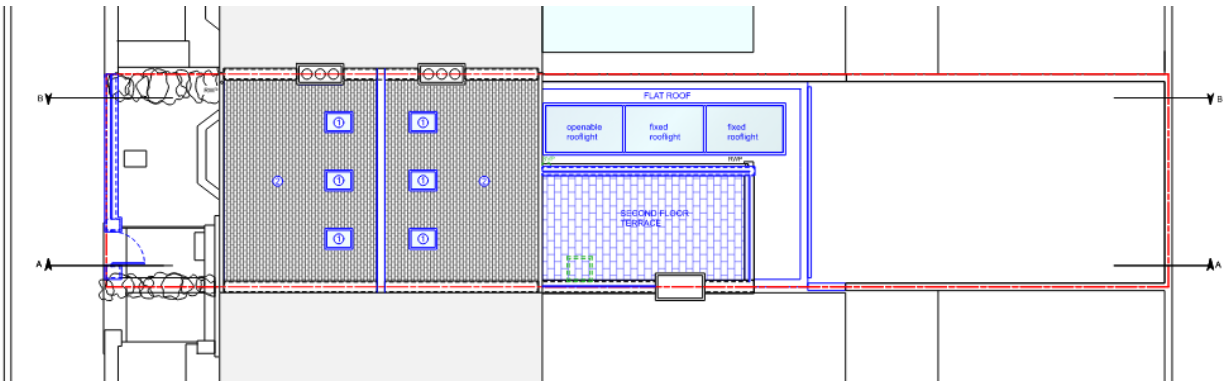


Photo 6 (above): Proposed roof plan (source: Proposed drawings)

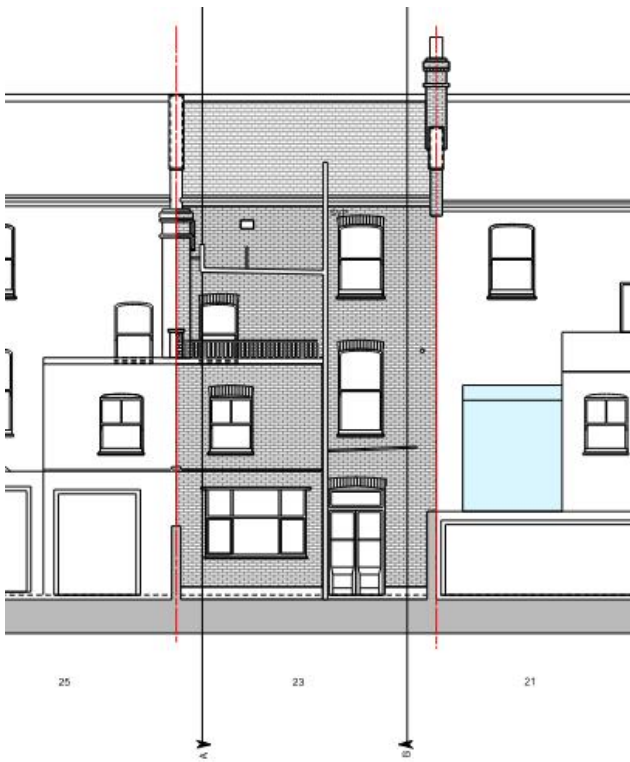


Photo 7 (above): Existing rear elevation (source: Existing drawings)



Photo 8 (above): Proposed rear elevation (source: Proposed drawings)



Photo 9 (above): Existing front elevation  
(source: Existing drawings)



Photo 10 (above): Proposed front elevation  
(source: Proposed drawings)

|   |                            |                                       |                                     |                   |
|---|----------------------------|---------------------------------------|-------------------------------------|-------------------|
| <b>Delegated Report</b>   |                            | <b>Analysis sheet</b>                 | <b>Expiry Date:</b>                 | <b>22/03/2024</b> |
| <b>(Members Briefing)</b>   |                            | N/A / attached                        | <b>Consultation Expiry Date:</b>    | <b>24/03/2024</b> |
| <b>Officer</b>  |                            |                                       | <b>Application Number(s)</b>        |                   |
| Lauren Ford   |                            |                                       | 2024/0306/P                         |                   |
| <b>Application Address</b>  |                            |                                       | <b>Drawing Numbers</b>              |                   |
| 23 Boscastle Road<br>London<br>NW5 1EE  |                            |                                       | See Draft Decision Notice           |                   |
| <b>PO 3/4</b>   | <b>Area Team Signature</b> | <b>C&amp;UD</b>                       | <b>Authorised Officer Signature</b> |                   |
|   |                            |                                       |                                     |                   |
| <b>Proposal(s)</b>  |                            |                                       |                                     |                   |
| Erection of a single storey ground floor rear infill extension with associated rooflights, 3 rooflights on each of the existing front and rear roof slopes, creation of a roof terrace at second floor level, replacement of all existing windows to the front elevation; first and second floor windows to the rear elevation and side elevation windows with double glazed windows to match the existing, new door to replace an existing window at second floor level to provide access to terrace and associated alterations including rebuilding of the front boundary wall. |                            |                                       |                                     |                   |
| <b>Recommendation(s):</b>   |                            | Grant conditional planning permission |                                     |                   |
| <b>Application Type:</b>  |                            | Householder Application               |                                     |                   |



|   |  |           |                  |           |                   |          |
|---|--|-----------|------------------|-----------|-------------------|----------|
| <b>Conditions or Reasons for Refusal:</b> | <b>Refer to Draft Decision Notice</b>  |           |                  |           |                   |          |
| <b>Informatives:</b>                      |  |           |                  |           |                   |          |
| <b>Consultations</b>                      |  |           |                  |           |                   |          |
| <b>Summary of consultation:</b>           | <p>Site notices were displayed near to the site on the 21/02/2024 (consultation end date 16/03/2024).</p> <p>The development was also advertised in the local press on the 29/02/2024 (consultation end date 24/03/2024).</p>  |           |                  |           |                   |          |
| <b>Adjoining Occupiers:</b>               | No. notified   | <b>00</b> | No. of responses | <b>00</b> | No. of objections | <b>3</b> |
|   |  |           | No. Electronic   | <b>00</b> |                   |          |
| <b>Summary of consultation responses:</b> | <p>Three letters of objection were received from neighbouring residents at Grove Terrace and Boscastle Road. Their objections can be summarised as follows:</p> <ul style="list-style-type: none"> <li>• Light spill and pollution from rear rooflights</li> <li>• Loss of 'dark area' due to rooflights</li> <li>• No side elevations provided</li> <li>• Accuracy of proposed elevation plans</li> <li>• Daylight/sunlight assessment based on incorrect plans</li> <li>• Increase in bulk and massing to the rear</li> <li>• Significant amounts of glazing</li> <li>• Height of extension</li> <li>• Terrace would appear incongruous and result in overlooking</li> <li>• Proposal fails to comply with policies D1, D2 and the relevant provisions of the NPPF and the Planning (Listed Buildings and Conservation Areas) Act 1990.</li> <li>• Impact on residential amenity of neighbouring occupiers with respect to overlooking, sense of enclosure, loss of outlook and loss of light.</li> </ul> <p><u>Officer Response:</u></p> <ul style="list-style-type: none"> <li>• <i>Please refer to sections 3 (design and heritage) and 4 (amenity) of the report.</i></li> <li>• <i>Side elevation drawings were uploaded to the portal on 16/04/2024.</i></li> <li>• <i>Amended drawings that show the proposal in relation to the neighbouring property at 21 Boscastle Road were uploaded to the portal on 18/06/2024.</i></li> <li>• <i>There is no evidence to suggest that the proposed elevation drawings are incorrect, or therefore that the daylight/sunlight assessment is based on incorrect plans.</i></li> </ul> |           |                  |           |                   |          |
| <b>Dartmouth Park Neighbourhood Forum</b> | The Dartmouth Park Neighbourhood Forum were consulted on the proposal. No comments were received.  |           |                  |           |                   |          |
| <b>Dartmouth Park CAAC</b>                | The Dartmouth Park CAAC were consulted on the proposal. No comments were received.   |           |                  |           |                   |          |

## Site Description

The site comprises a three-storey terraced house located on the western side of Boscastle Road and is one of a short terrace of six terraced houses, built as three handed pairs. The site is located within the Dartmouth Park Conservation Area, and no listed buildings are affected.

The Dartmouth Park Conservation Area Appraisal and Management Statement states describes the subject group of houses as follows:

- *Nos. 19-29 is a terrace of three storey houses (Tambling) (1873) and mark a distinct change of style, with two storey bays, stucco surrounds to bay, decorative capitals to windows, porches arranged in pairs and a pitched roof. The names 'Devonshire Villas' and 'Cornwall Villas' survive on garden wall piers.*

The terrace is identified as making a positive contribution to the significance of the Conservation Area.

In terms of the surrounding area, many of the properties have already been extended, notably at ground floor level to the rear.

## Relevant History

### Application Site

**2023/3828/P** - *Conversion of two flats into a single-family dwelling house. Granted, 07/11/2023.*

**2023/4533/PRE** - *Ground floor side infill extension to the rear with rooflights, first and second floor terraces to the rear, loft extension, new rooflights to the front roof slope and other external changes including rebuilding of the existing front boundary wall and new metal railings and gate to the front and new retaining wall and steps to the rear. Pre-application advice issued 12/01/2024.*

### Surrounding Area:

**2017/2223/P (1 Boscastle Road):** *Erection of mansard roof extension and installation of balustrade at roof level; replacement of existing two storey rear extension with single storey extension with terrace above; single storey side infill extension between existing detached garage and main house; removal of side extension; and other external alterations. Granted, 31/08/2017.*

**2018/2408/P (17 Boscastle Road):** *Erection of replacement infill extension following removal of existing; erection of 2nd floor extension to rear closet wing; and installation of 4 x rooflights. Granted, 14/09/2018.*

**2018/4480/P (17 Boscastle Road):** *Replacement of existing single storey rear extension with full width extension. Second floor extension to rear closet wing. Installation of 4 x rooflights to main roof. Granted, 12/11/2018.*

**2018/5702/P (17 Boscastle Road):** *Installation of 1 x rooflight to side and rear roof slope. Granted, 23/11/2018.*

**2013/207/P (19B Boscastle Road):** *Creation of a new rear roof terrace and replacement of window with door at second floor level of existing maisonette (Class C3). Granted, 2013/2807/P.*

**2010/1337/P (19B Boscastle Road):** *Installation of one rooflight on front roofslope and one rooflight on rear roofslope of upper floor maisonette (Class C3). Granted, 16/11/2010.*

**2016/0953/P (21 Boscastle Road):** *Erection of single storey rear extension, lowering of first floor rear window, raised side sky lantern, introduction of parapet wall to roof terrace, and enlargement of existing basement cellar to create new basement storey under house with associated new lightwell in front garden. Granted, 27/09/2016.*



**2014/7318/P (21 Boscastle Road):** *Erection of a single storey rear extension as replacement to existing, replacement of rooflights to rear roofslope, alterations to rear elevation fenestration and balustrade, replacement of rear garden shed and rear landscaping. **Granted, 20/01/2015.***

**2013/6496/P (25 Boscastle Road):** *Single storey side extension with glazed roof, installation of three rooflights to rear and one to front, and replacement of metal framed doors and windows to existing rear extension with timber framed glazed doors and windows to dwelling house (Class C3). **Granted, 12/12/2013.***

## Relevant policies

**The National Planning Policy Framework (2023)**

**The London Plan (2021)**

**Camden Local Plan (2017)**

D1 Design

D2 Heritage

A1 Managing the impact of development

**Camden Planning Guidance (CPG)**

CPG Design (2019)

CPG Amenity (2018)

CPG Home Improvements (2021)

**Dartmouth Park Conservation Area Appraisal and Management Strategy 2009**

**Dartmouth Park Neighbourhood Plan 2020**

DC1 Enhancing the sense of space

DC2 Heritage assets

DC4 Small residential extensions

**Draft Camden Local Plan**

The Council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications which has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

## Assessment

### 1. Proposal

1.1. The application seeks permission for the following:

- A single storey ground floor rear infill extension measuring 8m (length) by 2.5m (width) by 3.5m (height) with associated rooflights. The extension would include a flat roof and would be constructed of brickwork to match the main building. A set of double doors and 2 fixed windows would be included in the rear elevation.
- 3 rooflights on each of the existing front and rear roof slopes.
- Creation of a roof terrace at second floor level measuring 6.1m (length) by 3.6m (width). It is proposed to enclose the terrace with 1m high brickwork parapet and 0.5m high timber panelling on either side (1.5m high balustrade).
- Replacement of all existing windows to the front elevation; first and second floor windows to the rear elevation and side elevation windows with double glazed windows to match

the existing.

- New door to replace an existing window at second floor level to provide access to terrace and associated alterations.
- Rebuilding of front boundary wall with brickwork and metal railings.

## **2. Considerations**

2.1. Key planning issues to be considered are as follows:

- Design & Heritage
- Neighbouring Amenity

## **3. Design & Heritage**

3.1. Local Plan policy D1 seeks to achieve high quality design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area. Through Local Plan policy D2, the Council will seek to preserve and, where appropriate, enhance Camden's conservation areas.

3.2. Within the terrace (Nos. 19-29) Nos. 19 and 23 are the only properties which do not include infill rear extensions to existing rear extensions to create a full width rear extension. These extensions now form part of its character, and the proposed rear infill extension would be in keeping with the pattern of development in this location. The proposed materials which would match the existing building are appropriate, and sympathetic to the host building and Conservation Area. The proposed design and form are therefore considered acceptable.

3.3. The rear garden measures over 9m in depth, with sufficient garden space being retained.

3.4. Taking into consideration the presence of existing rear extensions, and the size, design and scale of the extension, the proposed single storey rear extension is considered appropriate in design and heritage terms.

3.5. Three rooflights are proposed on the front roof slope. These are acceptable given their size, positioning and the fact that they would be minimally visible from the street. Three rooflights are also proposed to the rear. Rear rooflights are present on numerous surrounding properties, and the proposed rear rooflights would be sufficiently limited in size, and in keeping with the existing pattern of development in this area. A condition has been attached requiring the rooflights to be conservation style. The rooflights would be subordinate to the host building and are not considered to cause harm to the character and appearance of the Conservation Area.

3.6. The creation of the roof terrace would involve metal balustrade, a new brickwork parapet and timber panelling (privacy screen) that would measure 1.5m in height (in total). The presence of other rear terraces at second floor level within the area is noted, such as at nos. 19 and 21. The terrace and associated balustrade would have limited visibility from the public domain and is acceptable in design and heritage terms.

3.7. The replacement of existing windows is considered acceptable as the windows would be timber framed to match the existing, and the fenestration pattern and glazing bar details are to be the same. The proposed door to allow access to the terrace, the style of which would match the existing fenestration is also acceptable.

3.8. The rebuilt front boundary wall would have the same height and form as the existing, and the brickwork and pointing profile would match that of the front elevation of the house. The addition of railings and gate with detailing complementing the house and other boundary treatments within the area is also acceptable.

- 3.9. An awning is proposed to the rear, and concerns have been raised surrounding this in the objection. It is noted that planning permission is not required for this. Notwithstanding this, it is a minor addition of a lightweight design.
- 3.10. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.
- 3.11. Overall, the proposal is not considered harmful to the character or appearance of the host building, street scene or the Dartmouth Park Conservation Area and is thus in accordance with policies D1 and D2 of the Camden Local Plan 2017 and policies DC1, DC2 and DC4 of the Dartmouth Park Neighbourhood Plan.

#### **4. Neighbouring Amenity**

- 4.1. Local plan policy A1 seeks to protect the amenity of residents by ensuring the impact of development is fully considered. The quality of life of occupiers and neighbours are protected by only granting permission for development that would not harm their amenity. This includes factors such as loss of outlook, loss of light and privacy.
- 4.2. A daylight and sunlight assessment has been provided which demonstrates that there would be no change to the daylight levels received to the windows in the neighbouring properties at pre and post construction phase as a result of the proposed extension. Therefore, the proposal would not impact upon the natural light levels for neighbouring properties, notably 21 Boscastle Road.
- 4.3. Given its height and location, it is not considered that the extension would result in an unacceptable privacy or overlooking related effects. It is also not considered to result in an unacceptable sense of enclosure with respect to 21 Boscastle Road given its height, scale and the presence of existing extensions at 21 Boscastle Road.
- 4.4. Privacy screens are proposed on the south-eastern and north-western elevations which are to be 1.8m in height (notwithstanding the height shown on the proposed drawings). The privacy screens would ensure no unacceptable overlooking or privacy effects on 21 Boscastle Road or the second-floor window of 25 Boscastle Road. Conditions have been attached surrounding the privacy screens.
- 4.5. Overall, it is not considered that there would be any harm to residential amenity in terms of daylight, sunlight, privacy, loss of light, sense of enclosure or outlook. The scheme is thus considered to be in accordance with Local Plan policy A1.

#### **5. Recommendation**

- 5.1. Grant conditional planning permission.

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 1<sup>st</sup> July 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***



Application ref: 2024/0306/P  
Contact: Lauren Ford  
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Date: 21 June 2024

**Development Management**  
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Simon Miller Architects Ltd  
11 Portsdown Mews  
London  
NW11 7HD

# DRAFT

Dear Sir/Madam

**DECISION**

Town and Country Planning Act 1990 (as amended)

## **Householder Application Granted**

Address:

**23 Boscastle Road  
London  
NW5 1EE**

# DECISION

Proposal:

Erection of a single storey ground floor rear infill extension with associated rooflights, 3 rooflights on each of the existing front and rear roof slopes, creation of a roof terrace at second floor level, replacement of all existing windows to the front elevation; first and second floor windows to the rear elevation and side elevation windows with double glazed windows to match the existing, new door to replace an existing window at second floor level to provide access to terrace and associated alterations including rebuilding of the front boundary wall.

Drawing Nos: 567 EX-COU-01, 567 EX-COU-02, 567 EX-COU-03, 567 EX-COU-04, 567 EX-COU-05, 567 EX-COU-06, 567 EX-COU-07, 567 EX-COU-08, 567 EX-COU-09, 567 EX11 567 EX-COU-OS, 567 NP01, 567 NP02, 567 PH01, 567 PL02 Revision A, 567 PL03 Revision A, 567 PL04 Revision B, 567 PL06 Revision A, 567 PL07 Revision A, 567 PL08, 567 PL09 Revision B, 567 PL10, Design and Access Statement 25th January 2024, Daylight and Sunlight Assessment February 2024.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

567 EX-COU-01, 567 EX-COU-02, 567 EX-COU-03, 567 EX-COU-04, 567 EX-COU-05, 567 EX-COU-06, 567 EX-COU-07, 567 EX-COU-08, 567 EX-COU-09, 567 EX11 567 EX-COU-OS, 567 NP01, 567 NP02, 567 PH01, 567 PL02 Revision A, 567 PL03 Revision A, 567 PL04 Revision B, 567 PL06 Revision A, 567 PL07 Revision A, 567 PL08, 567 PL09 Revision B, 567 PL10, Design and Access Statement 25th January 2024, Daylight and Sunlight Assessment February 2024.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017 and policies DC1, DC2 and DC4 of the Dartmouth Park Neighbourhood Plan 2020.

- 4 The rooflights hereby approved shall be conservation style, flush to the roofslope.

Reason: To safeguard the appearance of the Dartmouth Park Conservation Area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017 and policies DC1 and DC2 of the Dartmouth Park Neighbourhood Plan 2020.

- 5 Notwithstanding the details shown on the approved plans, the privacy screens at second floor level shall be a total of 1.8m in height and shall be erected on the southeastern elevation and on the north western elevation (between the chimney breast and rear elevation of the main building) prior to the use of the roof terrace and shall be permanently retained and maintained thereafter.

Reason: To safeguard the appearance of the building and the character of the area and to prevent unreasonable overlooking of neighbouring premises in accordance with policies A1, D1 and D2 of the Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer